

Redcar & Cleveland Local Development Framework



RESIDENTIAL EXTENSIONS AND ALTERATIONS SPD

May 2013



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I. INTRODUCTION

Role and Purpose of the Residential Extensions and Alterations SPD

- 1.1 This SPD provides advice for anyone wishing to alter or extend a residential property. It is intended to contribute to the creation of a high quality, sustainable built environment in line with the Council's aspirations for its present and future residents. Achieving good design is a key aim of the development process and, to show its commitment of this aim, the Council will not approve poorly designed schemes. A well designed extension will enhance and add value to your property.
- 1.2 This document indicates the general principles by which planning applications will be assessed. The principles contained in this guidance promote good practice and are relevant whether planning permission is required or not.
- 1.3 The SPD will be used by Redcar & Cleveland Borough Council to consider planning applications for residential extensions or alterations. Proposals that do not accord with the principles in this document are likely to be refused permission.
- 1.4 Every property is different and every extension or alteration will be unique, therefore, each proposal will be assessed on its own merits, taking into account the general principles set out in this SPD.
- 1.5 Exceptional quality schemes that have followed the guidance in this document may be considered for the Council's biennial Design Awards. The Design Awards commend outstanding buildings and places within Redcar and Cleveland that contribute to a sense of quality and value.
- 1.6 This SPD is for use within Redcar and Cleveland Borough outside the North York Moors National Park.

Policy Background

- 1.7 The policy framework for alterations and extensions to dwellings is set out in the Redcar and Cleveland Local Development Framework (LDF) in Policies CS20 (Promoting Good Design) and DP3 (Sustainable Design). These stress the importance of quality design whilst achieving high standards of energy efficiency through sustainable construction.

Guiding Principles

- 1.8 In general, residential alterations and extensions should:
 - Respect or enhance the existing dwelling with regard to its proportions, form, massing, height, size, scale, materials, and architectural details;
 - Complement the design of the original building or, if the alterations are of a contemporary design, be compatible;
 - Be designed with the future needs of residents in mind;
 - Create a safe and secure environment;
 - Contribute positively to the immediate street scene and surrounding area;
 - Contribute to a sense of place and quality;

- Not result in an unacceptable level of overlooking, overshadowing or loss of light for adjacent properties;
- Provide reasonable private space or parking within the curtilage;
- Not obstruct visibility for pedestrians or road users; and
- Incorporate sustainable design and construction techniques along with energy efficiency measures.
- Be designed to minimise the risk of flooding within the local area and reflect the standing advice from the Environment Agency in relation to different developments within the various flood zones.

I.9 These guiding principles encourage sympathetic designs that respect the original property and surrounding area to achieve a higher design standard. Failure to follow these guiding principles could result in alterations or extensions that detract from the property or the street scene. Figure I shows how minor alterations can harm the character of your house.

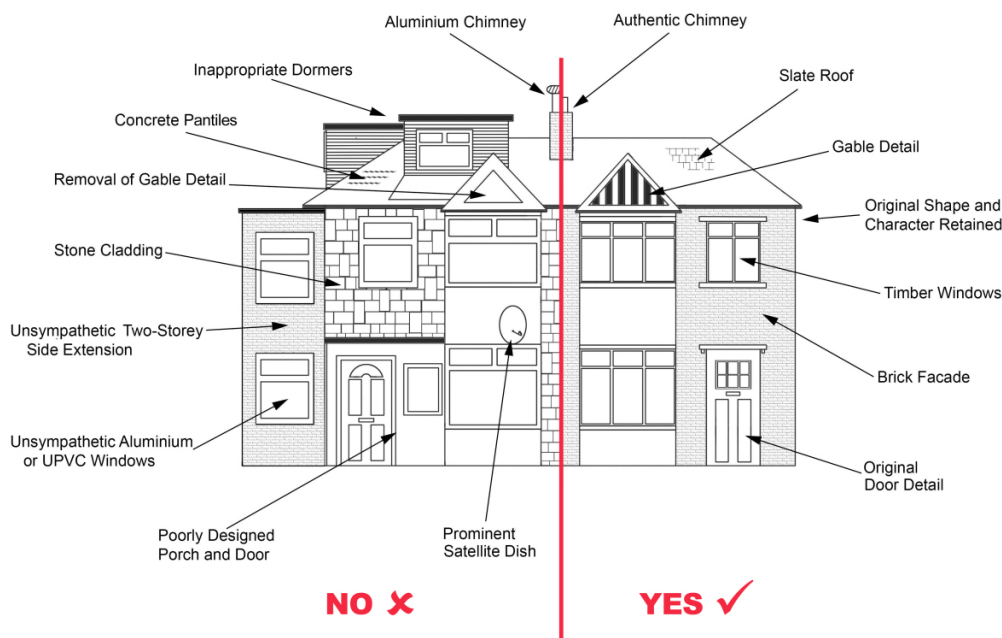


Figure I Alterations and extensions can harm the character of your house if not carefully designed.

Listed Buildings and Conservation Areas

I.10 Listed buildings are buildings protected for their special architectural or historical interest. Special attention should be given to preserving the existing building, including its architectural details both internal and external, historical value and its setting. Any works, internal or external, that materially affect the special interest of a listed building will require listed building consent. Unauthorised work, including internal alterations, to a listed building is a criminal offence and can result in prosecution. In most Grade II listed buildings some small changes can be accommodated without the need for permission. These changes would have to be insignificant enough so as to not materially affect the property and the works would

need to be of the highest quality to respect the character and appearance of the listed building.

- 1.11** Conservation Areas are places that are safeguarded because of their special character or appearance. Extensions and alterations to buildings in Conservation Areas should always be designed to preserve or enhance the appearance and character of the area.
- 1.12** If you live within a Conservation Area or in a listed building, special care is needed to ensure that the design of your extension or alteration is in keeping with the character of the area and any change should make a positive contribution. While timber windows and doors are generally the most appropriate materials within a listed building and within the conservation areas, the proposed materials should reflect the character and significance of the heritage asset.
- 1.13** There are some instances where some permitted development (see para. 3.1) rights have been removed, either by planning condition or by Article 4 Direction. If your property is covered by one of these Directions, planning permission may be required for all alterations or extensions. If you are not sure whether this will affect you, please contact the Development Management Team who will be able to advise.

Tree Preservation Orders

- 1.14** Tree Preservation Orders (TPOs) are made to protect valuable trees or woodlands. Any works to trees covered by a TPO will require consent from the Council in writing; this includes felling, removal of branches and uprooting.
- 1.15** If a tree lies within a Conservation Area written notice should be submitted to the Council at least six weeks prior to commencement of any works affecting the tree. This enables the Council to assess whether the tree is of importance to the conservation area and should be protected.
- 1.16** When designing any extensions, you should ensure that building works do not encroach on any trees. Trees should be retained wherever possible, even if they are not protected, as they generally enhance their surroundings. Avoid damaging root systems or storing materials under trees as this can cause long term damage and possibly destroy the tree.

Protected Species

- 1.17** If any development works impact on protected species, such as bats or great crested newts, then works need to be halted immediately as it is an offence to continue. You need to ensure that the presence of protected species in properties to be altered or extended is addressed appropriately in line with relevant legislation, whether the development is granted following a planning application or if it is considered permitted development.

2. DESIGN GUIDANCE

2.1 The names of the various constituent parts of a house are shown in Figure 2 .

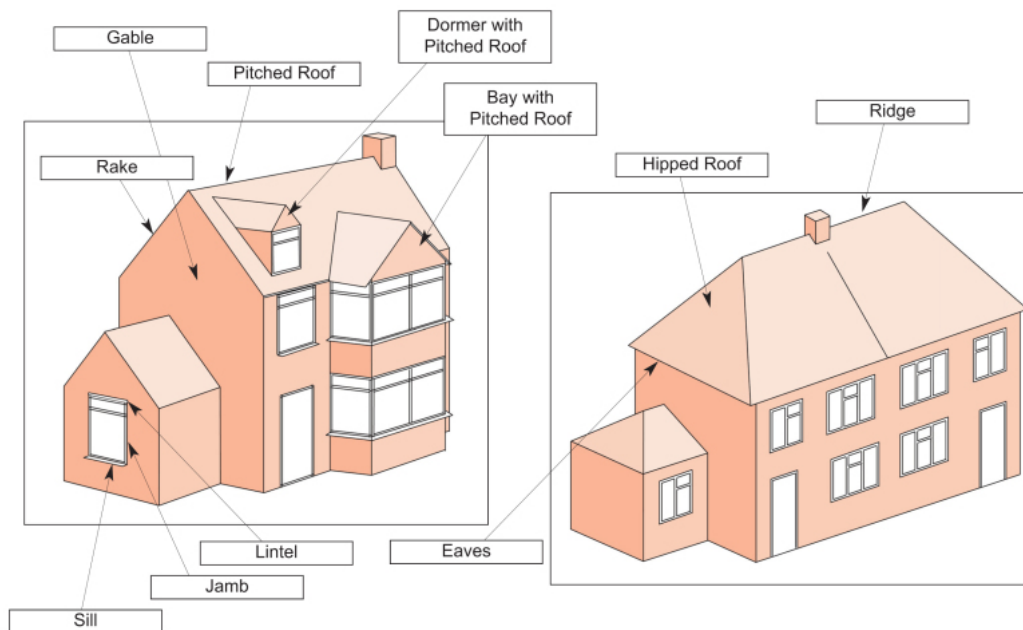


Figure 2

2.2 When designing your extension, the following guiding principles should be considered:

Scale, Form and Massing

2.3 The size and shape of your proposed extension should be compatible with, and subordinate to, the existing dwelling. Design and detailing should reflect that of the existing dwelling, for example, the pitch on any extension should complement the pitch of the existing house.

Detailing

2.4 Any new door or window openings on your property should match the existing, incorporating similar jambs, lintels and sills. Windows should be of similar proportion and respect the style of fenestration and period of your property.

Materials

2.5 Materials used for your extension should match, respect or positively contribute to the appearance of your property. You should choose materials that are of the same or higher quality as those on the original house and that are durable and age well. In certain instances contrasting materials may be appropriate if your design requires it and opportunities to be innovative should be considered. On listed buildings or buildings in Conservation Areas materials should be sympathetic to the historic character of the building.

- 2.6** Roof materials should be carefully considered as they can be highly visible and should be similar in colour and type to those of the existing house.

Privacy and Overshadowing

- 2.7** Your neighbours can justifiably expect that your extension does not reduce their privacy and that their property is not overshadowed to an unacceptable degree.
- 2.8** Windows serving main habitable rooms should be sited so as to avoid directly looking into your neighbours' properties or their private garden space. If this is unavoidable then windows should be obscure-glazed and non-opening. For the same reason, balconies are not normally considered appropriate.

Separation Distances

- 2.9** The retention of appropriate separation distances between properties helps to ensure adequate lighting, minimise overshadowing and maintain privacy. The distances normally considered acceptable are 21m between front and rear elevations of properties and 13m from the front or rear to a side elevation of the neighbouring property where that side elevation does not have a window serving a habitable room as shown in Figure 3.

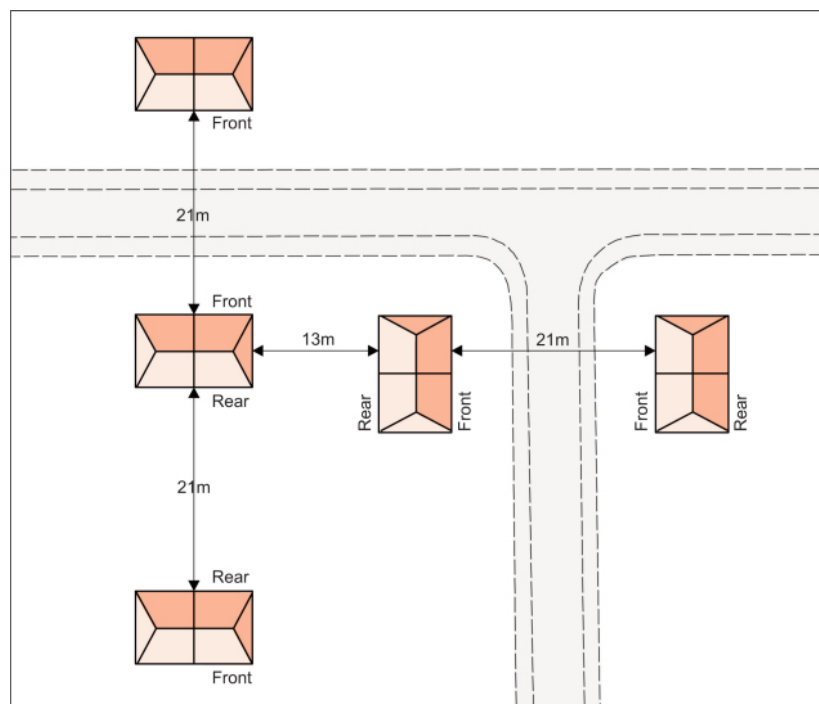


Figure 3 Suitable separation distances between neighbouring properties prevent overlooking and allow for privacy to be retained.

- 2.10** These distances may need to be increased where there are differences in site levels or where properties are more than two storeys in height.

Site Levels

- 2.11** In many areas of the Borough there are sloping sites creating the situation where some properties and their gardens are at a different height to their neighbours. A lower site level may benefit a development by lessening its impact on neighbours, but an extension to a house at a higher level could result in an overbearing effect.

Rear Extensions

- 2.12** For terraced properties, including end of terrace, the maximum depth normally acceptable is 3m. For semi-detached houses the maximum depth normally acceptable is 3.5m and for detached dwellings the maximum depth normally acceptable is 4m.
- 2.13** Each application is assessed on its individual merits and therefore these distances may be amended where there are level differences or differences in the rear building line. The orientation of the application site in relation to the neighbouring property and the proposed height and positioning of openings will also be factors in determining any application.
- 2.14** Where an application property immediately adjoins an existing larger rear extension, then slightly larger extensions, which exceed the general limits contained in paragraph 2.12, may be considered acceptable subject to an assessment of the impacts on neighbour amenity, the character of the area and the impacts on the host property.
- 2.15** If you are proposing to add a conservatory to your property, the depth on the rear elevation of the property should comply with the distances specified in paragraph 2.12.
- 2.16** Two-storey rear extensions, because of their height and massing, are generally unacceptable in close proximity to party boundaries due to the adverse impact on neighbour amenity. Two storey extensions may be considered acceptable where they; maintain adequate daylight to neighbour properties, raise no issues in terms of overlooking, are of a suitable design and do not appear over dominant when viewed from the neighbouring property.



Figure 4 Two storey rear extensions should have a roof pitch to match that of the original house.

Side Extensions

- 2.17** Side extensions are usually more visible from the street and it is important that they are carefully designed to reflect the design of your property. The extension should be proportioned and subordinate to your property to prevent it from becoming unbalanced and overbearing. Generally, side extensions should have a width no greater than half the width of the original dwelling.
- 2.18** If you live in a semi-detached or detached property, extending to the side reduces the gap between the adjacent buildings. If your neighbour also extends their property this can change the character of the street so that it appears as a terrace of houses. To maintain the character of the street and your building, a set-back of at least 1m from the front wall should be incorporated and a corresponding reduction in the ridge level or roof slope will be required, as shown in Figure 5.
- 2.19** The pitch or hip of the roof should normally also match that of the original roof to maintain the balance and integrity of the property.

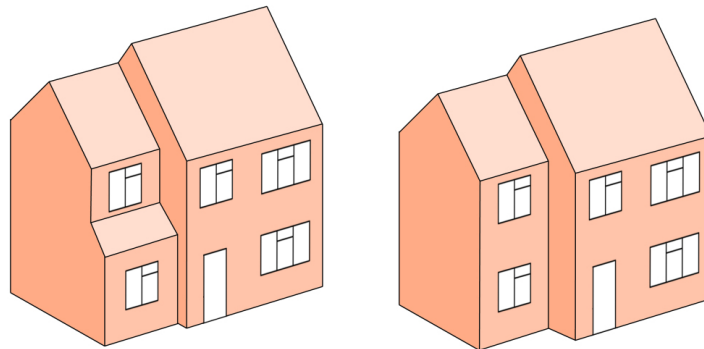


Figure 5 Side extensions should be set back by 1m from the front of the house and the ridge lowered to avoid a 'terracing effect'.

Corner Sites

- 2.20** Particular care will be required in the design of extensions on a corner site. These sites are more prominent and visible from more than one road frontage. Front and side elevations should usually be made 'active' incorporating door and window openings unless they would cause overlooking. Corner sites sometimes present opportunities for more interesting designs. Blank facades can detract from the street scene so should be avoided where possible.
- 2.21** To maintain the openness of corner sites, when extending your property to the side, you should generally not build to the pavement edge but retain a gap around the property respecting the building lines of the street. Generally, you should not reduce the distance between the building and the back edge of the pavement to less than 3m as this provides a buffer between the public and private realm, and maintains visibility for road users, as shown in Figure 7.

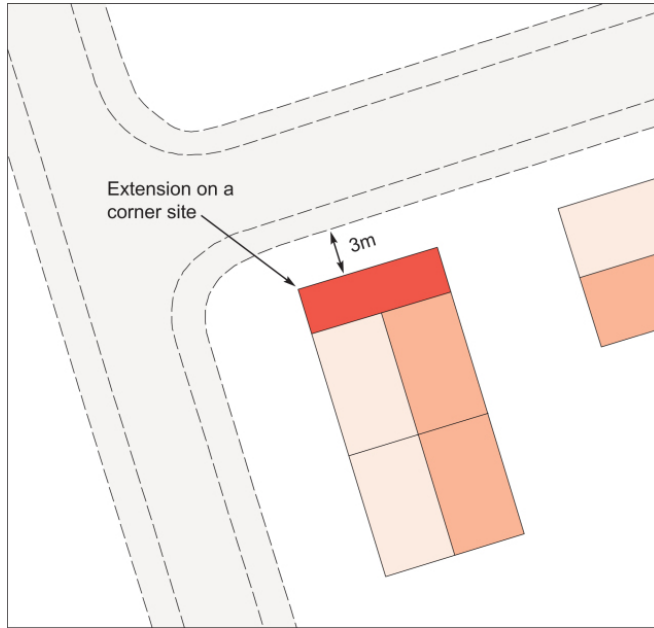


Figure 6 Extensions on a corner site should keep the building line of the streets and there should be a distance of at least 3m to the edge of the pavement.

Front Extensions and Porches

2.22 Where there is a clear building line, front extensions are not normally considered appropriate. They can be highly intrusive in the street scene and significantly alter the character and appearance of your property and would need to be carefully designed. Minor extensions to the front of your property, e.g. porches, may be allowed. The design should reflect the character of your property. At least 2m should be retained between the porch and the back edge of the pavement.

Dormer Windows and Roof Lights

- 2.23** Additional rooms can be created in your property by converting the loft space. This usually involves installing some form of window or ventilation. Roof lights are often the simplest option as they cause a minimal impact to your property's character and appearance. Roof light design should be influenced by the character and location of the property. Conservation roof lights, which are designed to fit flush with the roof slope are often more appropriate in older, traditional properties.

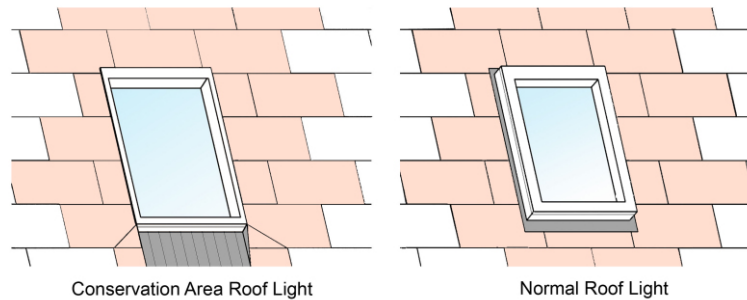


Figure 7 Roof Light designs

- 2.24** Dormer windows can increase the size of rooms created in the loft space but should be carefully designed to fit the overall design of the house and the character of the area. The materials used should respect those on your main roof and the alterations should not disrupt the existing roof form, including roof hips, eaves and ridges. Any addition to the roof should be proportionate to the existing roof. Not all properties within the Borough are capable of roof extensions, either because there is insufficient roof space or because the position and design of a roof extension would unacceptably affect the character and appearance of the area or adversely affect neighbour amenity.
- 2.25** Large full width “box” dormers on the front elevation of houses will not be permitted. However, dormer windows that are carefully designed to sit within the plane of the roof and do not truncate existing roof forms or affect existing ridge heights and eaves may be considered acceptable. As a general rule front dormers should be set in a minimum of 0.5m from the edge of the roof, the eaves and the ridge.
- 2.26** Dormer windows to rear roof slopes should reflect the architectural character of the existing building in terms of the form, massing, detailing and materials. Dormers should be well positioned within the existing roof slope, set in from each side and down from the ridge. As a general rule rear dormers should again provide a cheek of at least 0.5m.
- 2.27** Side dormer windows should be carefully designed to respect the character and appearance of the area. As with rear dormers they should sit within the existing roof slope and retains a cheek of at least 0.5m. Any openings in side dormers should be carefully designed to ensure that they do not adversely affect neighbour amenity and privacy.

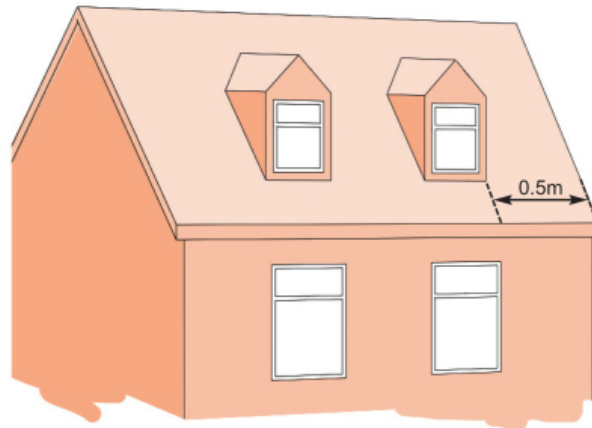


Figure 8 Dormer windows should be in line with the existing windows and be of a similar style. The roof design of the dormer should match or complement the existing roof of the property.

Balconies

2.28 Roof terraces and balconies will generally result in over-looking and loss of privacy to neighbouring properties as a result, are not normally acceptable. Where a roof terrace or balcony can be installed with an acceptable impact on neighbouring properties, the design should relate to the architectural detail of the existing building and should not compromise existing openings or alter traditional roof forms. Balconies and roof terraces are generally not acceptable on the front elevation of properties.

Garages and Outbuildings

2.29 Garages and outbuildings can provide extra storage space at your property. These are generally acceptable but consideration should be given to how they may affect your neighbour. The structure should not dominate the garden space or project forward of the main property and it is advisable to install a roof matching the pitch of that of the house.

Walls, Railings and Fences

2.30 Boundary treatments define both public and private space and you should give thought to what is appropriate in your street or area. They can make a significant, positive contribution to the character and appearance of your property but can also spoil the appearance of a street if they are not carefully designed. Consideration must be given to the choice of materials and how the boundary treatment will affect visibility for pedestrians or vehicles; for instance, they should be kept below 1m in height in order to maintain suitable visibility from a driveway.

2.31 A natural means of enclosure, such as hedging, is often a more acceptable way of enclosing your property and can have a positive effect on the character of the

house and street scene, but again these should be kept to no more than 1m in height along the roadside to ensure adequate visibility.

- 2.32** In some instances boundary fences or walls around the front of the property may not be appropriate, for example, in an "open plan" estate.

Parking and Hardstanding

- 2.33** To ensure there is adequate space for car parking within the grounds of your property you should aim to provide at least two on-site parking spaces.
- 2.34** There should normally be a minimum 6m hardstanding in front of your garage to allow for off street parking whilst garage doors are opened.

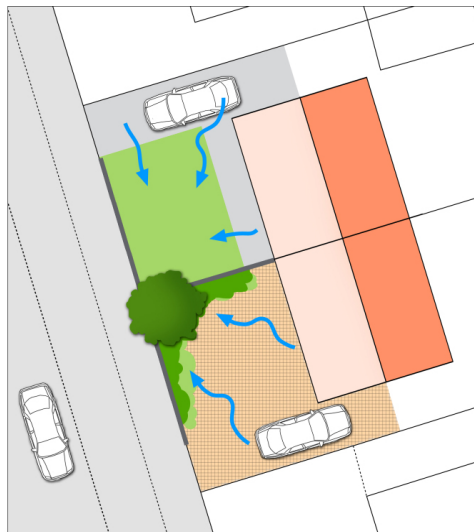


Figure 9 Hardstanding areas should be porous or drain toward a permeable surface, such as a lawn or planted border.

- 2.35** Areas of hardstanding to the front of the property should be constructed in a porous material or drained toward a permeable surface, such as a lawn, within the curtilage avoiding any run-off onto the highway, as seen in Figure 10. This helps to control the amount of surface water runoff entering the drains and reduces the risk of flooding. A drainage channel at the front of your drive should drain water back onto your property if the drive is sloped.

Refuse Bins

- 2.36** Your dwelling should have space for a minimum of two wheelie bins. They should be stored in an unobtrusive manner, preferably to the rear of your property or concealed behind a screen.

Energy Efficiency

- 2.37** Altering or extending your property is a good time to improve energy efficiency and, with the growing concern over climate change, this is a key aspect to consider. The design of your alteration or extension should take solar gain into consideration

making good use of windows to main rooms on south facing elevations to maximise the amount of sunlight entering the property.

- 2.38** You should consider making your home more energy efficient and it is worth considering improving the insulation in the rest of the house at the same time as you carry out alterations.
- 2.39** When replacing windows and doors you should, where possible, use double glazing or secondary glazing, keeping your house warmer in the winter and cooler in the summer.
- 2.40** Heat loss through the roof is one of the most common forms of heat loss and the recommended 270mm of loft insulation can save up to 25% of a home's heating costs. Cavity wall insulation can also reduce heat loss significantly. Other changes that can be made include fitting water tanks with heat insulating jackets or alternatively, replacing the boiler and water tank system with a combi-boiler. The use of low energy light bulbs is also encouraged.

Microgeneration (Renewable Energy Sources)

- 2.41** Microgeneration is the production of electricity from renewable energy sources on your property such as through small wind turbines, solar panels or biomass systems. This is a new and improving technology and can significantly reduce your annual fuel bills.
- 2.42** However, the apparatus for renewable energy generation is often bulky or unsightly and needs to be carefully placed on your building. The apparatus should preferably be placed out of public view or toward the rear of your property and any equipment installed on a roof slope should be no higher than the ridge, excluding the chimney. If you live in a listed building or Conservation Area you should give careful consideration to their positioning as they are generally considered unacceptable on chimneys, walls or roof slopes facing or visible from a road.
- 2.43** Should you wish to install such equipment or position them in visible locations, officers in the Development Management Team will be happy to give advice.
- 2.44** Ground-source and air-source heat pumps are other sources to help provide additional energy for your home and are generally considered acceptable.
- 2.45** Wind turbines, solar panels and other such apparatus will need to be assessed on an individual basis owing to their potential impacts on neighbours and the character of your property.

Satellite Dishes

- 2.46** Where possible, you should place satellite antennas in an unobtrusive manner, on the rear of your property, preferably out of public view. If you live in a listed building or Conservation Area you should give careful consideration to their positioning as they are generally considered unacceptable on chimneys, walls or roof slopes facing or visible from a road.

3. GETTING STARTED

Permitted Development

- 3.1** Not all extensions and alterations to your dwelling require planning permission. Certain works may be considered 'permitted development' under the Town and Country Planning (General Permitted Development) Order 1995 (as amended). These vary depending on the size and location of your property and whether it has been extended previously. However, Building Regulations approval may still be required, see 3.8 below.
- 3.2** The Council's Development Management Section will be able to advise you on whether you require planning permission. To do this either fill in the 'Do I need Planning Permission?' form which is available on the Council's website or contact the Development Management Team. Contact details are on the back page of this document. The response you receive will be the informal opinion of the Planning Officer dealing with the case. Should you require a formal determination from the Council you should apply for a Certificate of Lawfulness.
- 3.3** In some instances permitted development rights have been removed or limited to safeguard the area to preserve its character; these are known as 'Article 4 Directions'. If your property is covered by an Article 4 Direction, you may need to apply for planning permission even if the development would not normally require it. Your permitted development rights may also be affected if you live in a Conservation Area or by a condition on a planning permission granted previously.
- 3.4** Should planning permission be required then a planning application will need to be submitted detailing your proposal with accompanying plans. These will be assessed on an individual basis in accordance with this SPD and in light of any representations received.
- 3.5** It is the responsibility of the property owner to ensure that all necessary consents have been obtained prior to the commencement of works and this may involve the Council as well as other external sources.

Some Things to Consider Before Applying

- Is your house a listed building, in a Conservation Area or covered by an Article 4 Direction?
- Will any trees be in close proximity to the proposed development and are they within Conservation Areas or have tree preservation orders?
- Is there enough space to accommodate the development, or will it take up too much of your garden?
- Will your development be of a scale that is proportional to the existing building?
- Is the extension or alteration designed to fit in with the character of the existing building and those around it?
- Will the materials match or complement those of the existing building?
- Will dormer windows fit in with the character of the house, or would skylights be more appropriate?

- How will your extension impact on your neighbours, for example, will it affect their privacy or result in overshadowing?
- Is there enough room in your garden to accommodate refuse bins out of sight?
- Is there enough room to accommodate at least two cars on the property?
- Are there any utility services such as public sewers that could affect the design or siting of an extension?

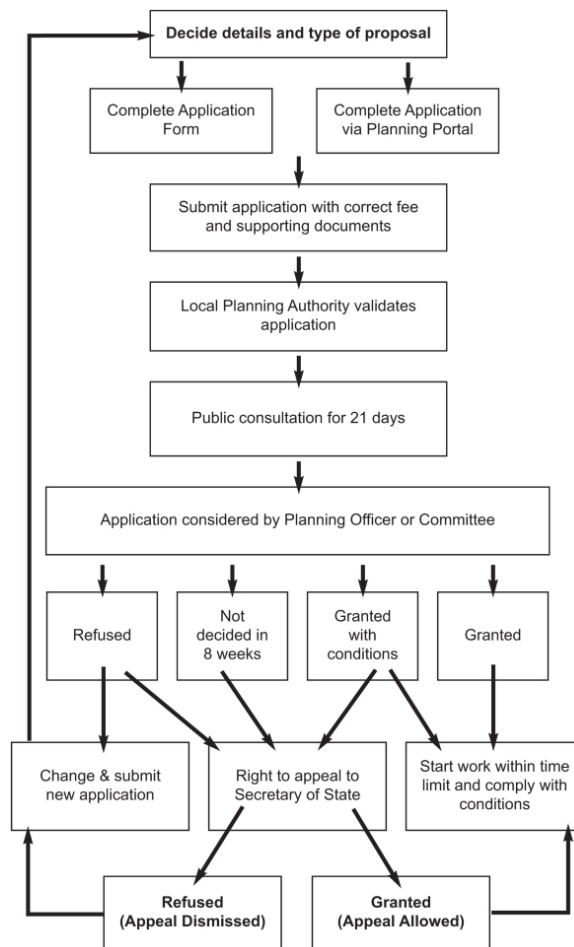
3.6 For full information of what is required with a planning application see the 'Validation Checklist: Householder Application' from the Council.

3.7 It is highly recommended that you obtain the services of an architect or draughtsman to assist you with this process to ensure the details are comprehensive and accurate.

Consult Your Neighbours

3.8 If planning permission is required the planning authority will consult your neighbours. It is always good practice for you to consult your neighbours to discuss your proposals prior to submission of a planning application.

The Planning Application Process



Building Regulations

- 3.9** You may need to obtain Building Regulations approval for alterations to your property, even if planning permission is not required. Early contact should be made with the Council's Building Control team to discuss what consents are required.
- 3.10** Planning permission and Building Regulations consent are two separate processes and gaining one is not an indication that the other will be granted. Work should not commence until all necessary consents have been obtained.

Public Sewers

- 3.11** Northumbrian Water Ltd is the service provider that maintains the existing public sewers in the Borough area. Sometimes proposals for residential extensions involve building over public sewers. This is normally allowed provided certain conditions are met to protect the sewer and indemnify the company. On rare occasions the position of the sewer can affect the size of the extension that is allowed. In these instances the size of the extension has to be altered to suit the existing conditions or the sewer has to be diverted. The advice of the Council's Building Control department should be sought at an early stage.

The Party Wall Act

- 3.12** If you intend to carry out building work which involves one of the following categories:
- work on an existing wall or structure shared with another property (section 2 of the Act)
 - building a free standing wall or a wall of a building up to or astride the boundary with a neighbouring property (section 1 of the Act)
 - excavating near a neighbouring building (section 6 of the Act)'
you must find out whether that work falls within the Party Wall Act and seek appropriate advice.

4. FURTHER INFORMATION

Information, advice and forms can be obtained from:

Development Management Section / Building Control Section

Both at:

Redcar & Cleveland Borough Council

Kirkleatham Street

Redcar

TS10 1RT

Tel: 01642 774 774 (Contact Centre)

Planning E-mail: planning_admin@redcar-cleveland.gov.uk

Building Control: building_control_admin@redcar-cleveland.gov.uk

Website: www.redcar-cleveland.gov.uk

Visit www.planningportal.gov.uk for general advice on all of the above topics. On the site you can access forms or submit an application online.

Separate guidance has been prepared by the North York Moors National Park. If you live in the National Park please contact them on:

North York Moors National Park

The Old Vicarage

Bondgate

Helmsley

York

YO62 5BP

Tel: 01439 770657

E-mail: info@northyorkmoors-npa.gov.uk

Website: www.visitnorthyorkshiremoors.co.uk

This document is available in alternative formats and in different languages on request. If you need support or assistance to help you read and/or understand this document, please contact the Council on 01642 774774.



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