



this is your Leisure Opportunity

July 2020

TO LET

By Informal Tender

Exciting beach front opportunity

**Units 1 & 2, The Boathouse, 33 Newcomen Terrace,
Redcar, TS10 1DB**



- **Single storey building with lapsed A5 use (consent granted 2013), may also be suitable for a range of alternative uses, subject to planning.**
- **The lake area offers C 1.6 acres with scope for a range of leisure uses.**
- **The Boathouse is close to the “Tuned in” youth centre, beach and Esplanade.**
- **Energy Performance Rating C**
- **Deadline for informal tenders: 1pm Friday 31st July 2020**

 www.redcar-cleveland.gov.uk

this is Redcar & Cleveland

Redcar & Cleveland Borough Council has embarked on a rationalisation programme to release land and property assets which no longer support the delivery of their services which will see the council operating from fewer buildings and sharing premises with partners. This will generate receipts for investment to improve services and help reduce the council's running costs. As part of this process, private sector input is sought to reinvigorate and regenerate areas, such as Coatham.

LOCATION

The site is located to the North of Redcar town centre and occupies a prominent position off Majuba Road, adjacent to Redcar beach, in a principally residential area, as shown edged red on the plan provided for identification purposes only.

The plot occupies a prominent area and tourist location. Redcar's promenade is surrounded by a mix of National, Regional and Local retail occupiers including Boots, B&M, Greggs the Bakers and our famous "lemon top" Pacittos Ice Cream Parlour and Beacon attraction.

Redcar is situated 16 Kilometres (10 miles) east of Middlesbrough and 57 Kilometres (26 miles) south east of Durham with the North Yorkshire Moors and National Park being located within close proximity to the South.

The town benefits from excellent road and rail links with the rest of the UK. The town is accessed via the A1085, which links to the A66, giving access to the A19, A1(M) and wider national road network. Redcar Central Rail Station is located 1.1 kilometres (0.7 miles) south east of the site with recent new direct rail links to Manchester Airport. There are also good links at nearby Teesside International Airport approximately 25 miles to the west.

The release of this commercial unit is part of the council's ambition to significantly grow visitor numbers to the borough and support the New Town inward investment plans for Redcar & Cleveland Borough.

Over £75 million has been invested during the past decade in a number of high-profile schemes across Redcar, including:

Flood alleviation works including the building of a new sea wall and enhanced seafront promenade.

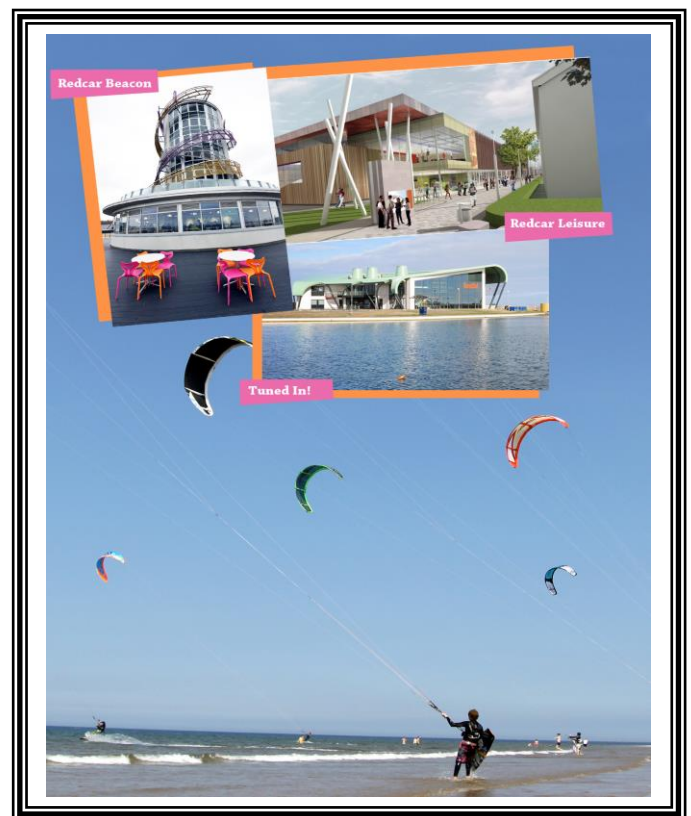
The Palace Hub, a business centre for the digital and creative sector.

The Redcar Beacon, an 80ft seaside landmark and the focal point for the redeveloped seafront;

Redcar & Cleveland Leisure and Community Heart, with leisure, community, conference and business facilities.

Adjacent to this site a modern and spacious building known as Tuned In! A creative arts centre for young people.

Alongside these large-scale developments visitor facility improvements have also been carried out including car parks improvements, toilets, signage and activities & information boards around the Town and sea front.



ACCOMMODATION

The boathouse (Units 1 & 2) was modernised in 2013 and shown edged red on the plan comprises:

	Square Metre	Square Foot
Unit 1	55.90	602
Unit 2	37.67	405
Total	93.57	1,007

Further outside partially covered space is offered up to 28.5 square metres (307 square feet).

The units offer space for A5 (hot food takeaway) and/or alternative uses like A3 (café/restaurant) subject to securing planning approval. The site opens onto Coatham boating lake which may also be taken on an agreement with the boathouse. Mains services are available to the building but interested parties must make their own enquiries with the respective utility companies.

The boating lake extends to circa 6,798 square metres (1.67 Acres) and is suitable for a range of water-based uses. The Council will levy an annual service charge towards ongoing maintenance (further details on request).

PLANNING

Any proposals should be discussed with the Development Management Section, Redcar and Cleveland Borough Council.

VAT

All charges (rent, service charge, fees, etc) levied under any agreement are exclusive of VAT.

VIEWING

External viewing may be undertaken at any time. Internal viewing is strictly by appointment. Contact for viewings – **01642 774 774**

INFORMATION PACK

An information pack is available upon request which includes: -

- Energy Performance Certificate
- Bid Pro-forma
- Tender Labels

LEGAL AND SURVEYING FEES

In addition to any professional fees incurred on their own behalf the successful applicant will also be required to contribute towards the reasonable legal and surveying fees incurred by Redcar & Cleveland Borough Council capped at £1,000. If your offer for the sites is accepted and you do not subsequently complete the transaction, then you will be required to contribute towards any abortive costs incurred by the Council after the date of acceptance of your offer.

BASIS OF OFFER

Offers are invited for the property, lake and/or land on a rental basis only.

CONTACT DETAILS

Christopher Black BSc (Est Man), MRICS
01642 774 774 (Switchboard)

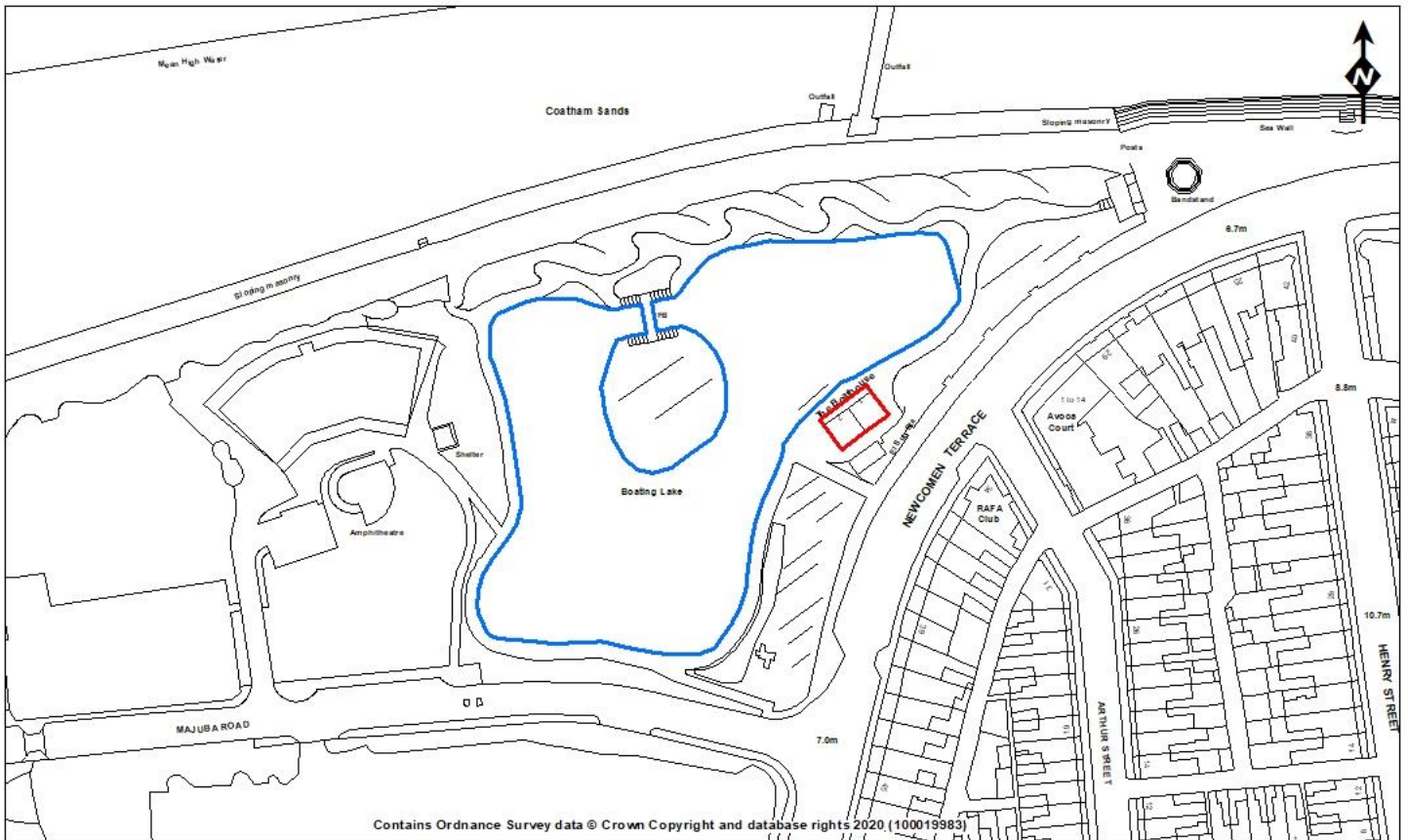
christopher.black@redcar-cleveland.gov.uk

CLOSING DATE

All offers to be submitted by 1 pm on Friday 31st July 2020

ACCEPTANCE OF OFFERS

Redcar and Cleveland Borough Council does not bind itself to accept the highest or any offer that may be received for the boathouse and/or lake. All offers are made subject to contract, Council approval and compliance with tender procedures.



COATHAM BOATHOUSE & BOATING LAKE

Date: 10/07/2020
 Drawn by: BS
 Scale = 1:1,250
 DWG No: xx

For identification purposes only.

Not to scale.

Redcar and Cleveland Borough Council give notice that: (i) the particulars are set out as a general outline only for the guidance of intending purchasers or lessees and do not constitute, nor constitute part of, an offer or contract. (ii) all descriptions, dimensions, references to condition and necessary permission for use and occupation, and other details, are given in good faith and are believed to be correct but any intending purchasers or tenants should not rely on them as statements or representations of fact but satisfy themselves by inspection or otherwise as to the correctness of each of them. (iii) no person in the employment of Redcar and Cleveland Borough Council or any joint agents has any authority to make or give any representation or warranty whatever in relation to this property. (iv) all rentals and prices are quoted exclusive of VAT.